



## Downtown Overlay Design Standards

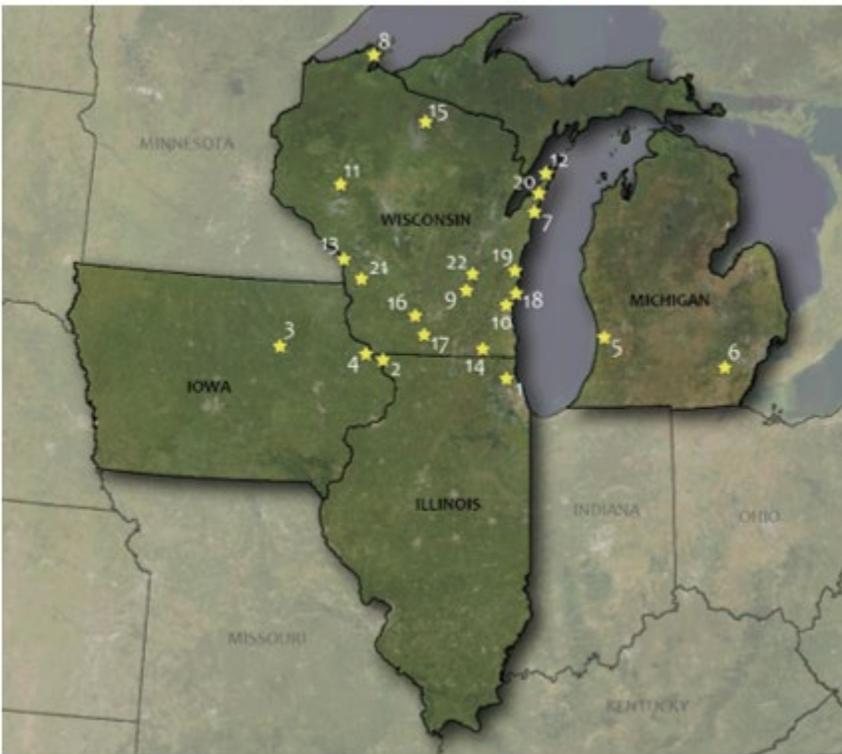
**Draft: March 2022**

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## Proposed Downtown Overlay District Standards

The City of Plymouth contracted the Bay-Lake Regional Planning Commission (BLRPC) to establish downtown design standards and guidelines (recommendations), in cooperation with the City of Plymouth's Downtown Design Ad-Hoc Committee. This packet presents design standard recommendations for Plymouth's downtown. They are based off Plymouth's 2013 Downtown Design Guidelines, developed by Pfaller Architectural Associates, Inc. for the Plymouth Redevelopment Authority, and an evaluation of 22 case study communities that administer or have implemented successful programs, ordinances, funding tools, and incentives to ensure their downtowns thrive aesthetically and/or functionally.

### Exhibit 1. Location of Selected Case Study Communities



1. Long Grove, IL
2. Galena, IL
3. Cedar Falls, IA
4. Dubuque, IA
5. Holland, MI
6. Ann Arbor, MI
7. Algoma, WI
8. Bayfield, WI
9. Beaver Dam, WI
10. Cedarburg, WI
11. Chippewa Falls, WI
12. Fish Creek, WI
13. La Crosse, WI
14. Lake Geneva, WI
15. Minocqua, WI
16. Mount Horeb, WI
17. New Glarus, WI
18. Port Washington, WI
19. Sheboygan Falls, WI
20. Sturgeon Bay, WI
21. Viroqua, WI
22. Waupun, WI

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## About the Overlay District

The proposed downtown overlay district defined in Exhibit 1. If an overlay district is adopted, and unless the City of Plymouth granted a variance, all property owners with property in this area would be required to adhere to the overlay district design standards should they apply for a permit to develop, redevelop, or rehabilitate a building, structure, or other improvement on their property.

**Exhibit 1. Downtown Overlay District Boundaries**



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## The Design Standards

The following pages organize the proposed design standard recommendations by design element. Each element is listed in a table of contents on the next page. To orient the reader, the standards were established with the following ideas in mind:

- There are 20 design elements. Each element “must” or a “may” be included in a building permit application. If the element is designated with “must,” the property owner will need to adhere to the corresponding design standards for that element (unless a variance is granted). If the element is designated with “may,” the property owner can decide to incorporate the design element. If they must or choose to incorporate the design element, they must adhere to the corresponding design standards for that element (unless a variance is granted).
- Standards which are documented in normal, black text are “required.” These standards must be met unless a variance is granted.
- Standards which are *italicized, and blue* are “required, if practical.” As part of a discretionary process, the RDA will work with the applicant and determine whether a proposed project must include the requirement. Among other factors, their determination shall consider building and site layout, materials, historic character, building and site conditions, and costs.
- Some elements are designated as “grant eligible.” This means an applicant could potentially apply to receive competitive grant monies to partially fund specific design improvements.

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1. Awnings and Canopies	
<b>Applicability:</b>	This element <input type="checkbox"/> must <input checked="" type="checkbox"/> may be included in project.
<b>Description:</b>	Awnings and canopies are purposed to provide shade and cover from poor weather. From a design perspective, they can soften a rigid streetscape, add color, and act as a transition between the upper and lower façade of a building.
<b>Standards:</b>	<p>Awnings and canopies must:</p> <ol style="list-style-type: none"> <li>1.1. Reinforce the frame of the storefront opening, be attached below the storefront cornice or sign panel, and not cover the piers on either side of the storefront. Street level awning must be mounted so its valance is approx. seven feet from the building. The awnings valance, or skirt, shall be proportional to the size of the awnings, but shall not exceed twelve (12) inches in height.</li> <li>1.2. Extend well out over the sidewalk, and not be a mere window dressing. The width of awnings should fit the geometry of the building facade.</li> <li>1.3. Not extend across multiple storefronts of different buildings. They must reflect the window or door openings below.</li> <li>1.4. Be fixed and round-headed only if windows or doors are arched, if placed below or within the arched lintel, and if desired by the property owner.</li> <li>1.5. Be loose and flowing, not stretched tight. Fixed awnings must incorporate a “free” valance that allows movement with the wind.</li> <li>1.6. Use water-repellent or vinyl-coated canvas. Plastic or aluminum awnings or canopies are not permitted. (Note: the traditional commercial awning material is canvas, and its profile is the watershed design).</li> <li>1.7. Use plain or striped fabrics.</li> <li>1.8. Not include back lighting.</li> <li>1.9. <i>Be subtle and subdued in color and not bright. Color must be selected to insure compatibility with your building and with the color of adjacent buildings. Large areas of bright colors are not permitted.</i></li> <li>1.10. <i>Be retractable or operable. Fixed awnings must mimic the profile of operable units (one to one pitch).</i></li> <li>1.11. <i>Include signing only (in place of other sign types) on the end panel or front valance, if desired by the property owner. Lettering size must be proportional to the space available.</i></li> </ol>
<b>Eligible for Grants/Loans:</b>	<input type="checkbox"/> Yes <input checked="" type="checkbox"/> No

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2. Materials and Colors	
<b>Applicability:</b>	This element <input checked="" type="checkbox"/> must <input type="checkbox"/> may be included in project.
<b>Description:</b>	Building materials and colors can add variety, visual interest, and a common theme to facades and districts.
<b>Standards:</b>	<p><b>Building materials must:</b></p> <ul style="list-style-type: none"> <li>2.1. Be similar to the original adjacent facades, so it does not stand out against other buildings. Compatibility with similar exterior construction materials in the immediate area is recommended to maintain the distinct character and harmony of the area.</li> <li>2.2. Perform their intended function well and be consistently used throughout the design.</li> <li>2.3. Building additions must complement the existing structure in form, material use, architectural detail, and color. Building proportions, scale, and rhythmic elements must be maintained while allowing for the use of more modern materials, ornamentation, and detail.</li> <li>2.4. Adhere to the following:               <ul style="list-style-type: none"> <li>2.4.1. Concrete block (smooth or decorative split-face), stucco (smooth or textured synthetic), metal, plywood, sheet pressboard, unfinished precast concrete, or poured-in-place concrete shall not be used on building facades or on walls that are visible from streets, driveways, sidewalks, and/or parking areas.</li> <li>2.4.2. Masonry facades should not be painted nor have sealants applied. If you have a masonry facade that is already painted and the paint seems to be holding, paint it again using colors that are within the natural color range of the material.</li> <li>2.4.3. Aluminum and vinyl siding is prohibited, except for use on non-primary facades not highly visible from public rights-of-ways, walkways, primary customer parking areas, and neighboring residential or public uses.</li> <li>2.4.4. Concrete masonry units (CMU) should be used as a secondary material only, comprising no more than 49% of a single facade. Plain CMU is not permitted, and CMU coloring should be integral to the product (no painted finishes will be permitted.)</li> <li>2.4.5. Plaster, stucco, and other exterior insulation finishing system (EIFS) should be used as a secondary material only, comprising no more than 49% of a single facade.</li> <li>2.4.6. Half timbering is restricted for use only on architecturally appropriate structures.</li> </ul> </li> </ul>

- 2.4.7. Pressure treated wood is restricted for use as porch supports, decking, columns, balustrades, and railings.
- 2.4.8. Any use of this material on a primary facade must have a painted or stained finish. Metals will have an anodized, painted, or powder coated finish. Finishes should be smooth; not to resemble “cake icing”. The exposed lap heights should be limited to a range from three (3) to six (6) inches.
- 2.4.9. Certain materials should never be used on the traditional commercial building because they have no relationship to the original building’s design themes and therefore flea the consistency of appearance of the building and the downtown area. Such inappropriate materials include cultured stone, fake or faux brick, rough textured wood siding, wooden shingles, mansard roofs, gravel aggregate materials, and stucco (EIFS) materials.
- 2.4.10. When transitions in materials are made, different materials should meet only at a change in plane, for instance, an inside corner.
- 2.4.11. Materials will not transition directly at an outside corner edge. One material will turn the corner and carry over to the side elevation to a point at which the corner looks solidly finished.
- 2.4.12. *Wood, brick, stone, stucco accents, and glass are the preferred primary building materials for all structures in the district. They should be used on all facades, fronts, sides, and rears of buildings that are visible from streets and parking areas.*
- 2.4.13. *Modular brick is an acceptable material for all building types.*
- 2.4.14. *Oversized or large size bricks may only be used as an accent.*
- 2.4.15. *Adding detail using decorative banding and color or texture transitions is encouraged.*
- 2.4.16. *Cement board siding is acceptable if it maintains the characteristics of traditional clapboard siding.*
- 2.4.17. *The general use of clapboard siding is encouraged.*
- 2.4.18. *The use of ornamental metals as accent material is encouraged.*
- 2.4.19. *Metals may be used for gutters, downspouts, railings, trim, grills, panels, flashing, etc. when appropriate to the architectural style of the building.*
- 2.4.20. *The use of unfinished, exposed metals is discouraged, unless it is compatible with the overall design of the building.*
- 2.4.21. *Pre-cast concrete and cast stone are acceptable if they embody the characteristics of natural stone.*
- 2.4.22. *Natural stone is encouraged.*
- 2.4.23. *The use of wood shingle siding as an accent in dormers and gables as well as a wall finish is encouraged if compatible with the overall design of the building.*

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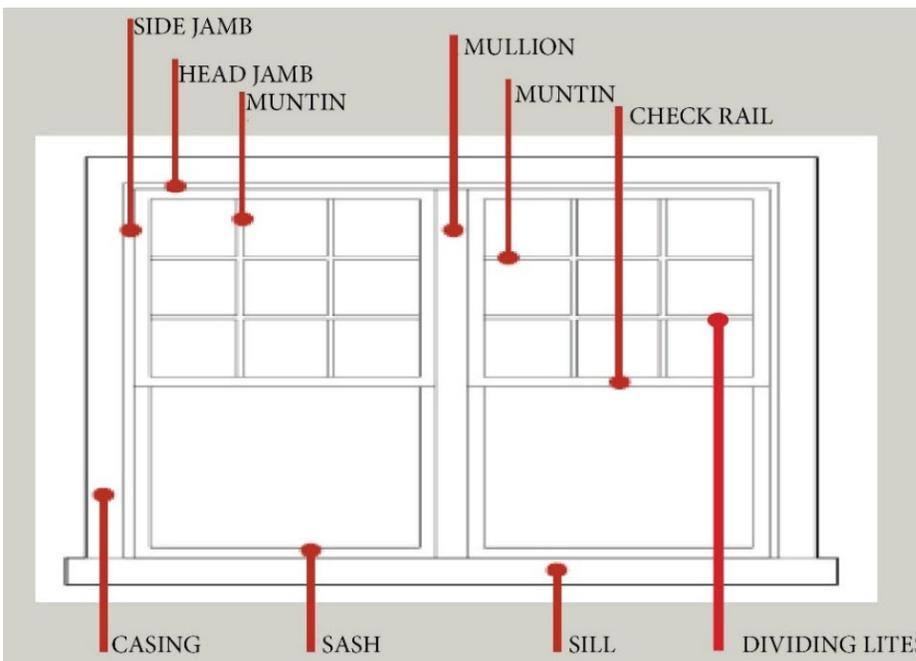
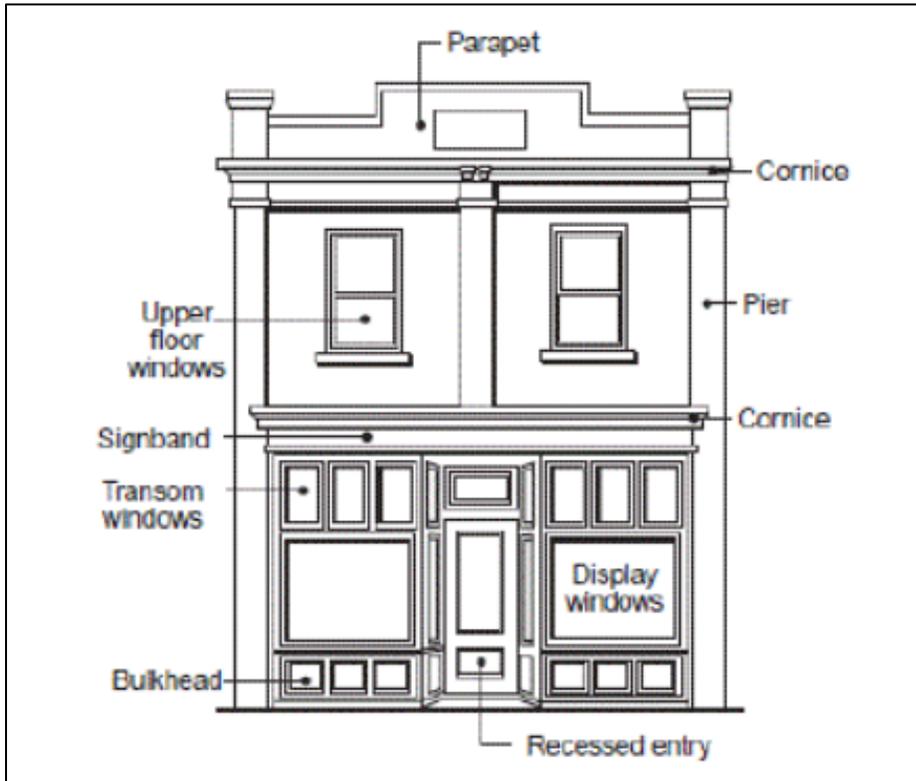
	<p>2.4.24. <i>Cement board shingles are acceptable if they embody the characteristics of natural wood shingles.</i></p> <p>2.4.25. <i>Corner trim pieces, such as corner boards on clapboard siding, may be used where appropriate.</i></p> <p><b>Building colors must:</b></p> <p>2.5. Be neutral and natural (earth tones) where possible, with contrasting colors acceptable for secondary or accent colors.</p> <p>2.6. Not be primary, bright, or excessively brilliant, unless used sparingly for subtle trim accents. Day-glow or fluorescent colors are prohibited.</p> <p>2.7. Be compatible for shops that occupy multiple-storefront buildings. The use of different colors to identify individual shops within a single structure is visually disruptive and obscures the overall composition of the facade.</p> <p>2.8. <i>Be sensitive to the period the building was built, the architectural style, materials, and relationship to other buildings. Building color shall be compatible with the area's character and enhance the buildings visual appeal. To determine a color scheme, consult a professional or obtain color cards for historic paint colors and their combinations.</i></p> <p>2.9. <i>Colors should accentuate the architectural details of the building.</i></p>
<b>Eligible for Grants/Loans:</b>	<input type="checkbox"/> Yes <input checked="" type="checkbox"/> No

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3. Windows and Display Windows	
<b>Applicability:</b>	This element <input checked="" type="checkbox"/> must <input type="checkbox"/> may be included in project.
<b>Description:</b>	Windows are one of the most prominent and important features of storefronts. Good windows help to conserve energy, improve indoor light quality, and improve aesthetics of storefront facades. Exhibit 2 presents some examples of window types and key terms.
<b>Standards:</b>	<p>Windows must:</p> <ul style="list-style-type: none"> <li>3.1. Satisfy the Wisconsin State Building Code and regulations as determined by the City of Plymouth.</li> <li>3.2. (When completely replaced) contain the same proportions as the original. Consider the horizontal and vertical mullions that provide design continuity throughout the building. Always use the entire original window opening, even if the opening was partially filled in from previous remodeling.</li> <li>3.3. <i>(If original units are repaired) install custom fabricated storm units to eliminate front and moisture penetration.</i></li> </ul> <p>Commercial display windows (in particular) must:</p> <ul style="list-style-type: none"> <li>3.4. Be transparent. A minimum of sixty (60) percent of the street level facade shall be transparent and thirty (30) percent on rear facades. A minimum of two (2) feet shall be maintained between the glass and any interior dividers to allow for product display.</li> <li>3.5. (For infill buildings) use window frames made of wood, or appropriately colored aluminum or vinyl clad.</li> <li>3.6. Not include reflective glass.</li> <li>3.7. Not include mirrored or heavily tinted glass on the first floor or street level because it conveys a conflicting modern design feeling. It also creates a blank wall effect, which may be offensive to the pedestrian.</li> <li>3.8. <i>(For remodeling purposes) preserve the original size, division, and shape of display windows within the overall storefront frame.</i></li> <li>3.9. <i>Include window detailing such as mutton or mullions (see Exhibit 2). They may be true divided light or simulated divided light.</i></li> </ul>
<b>Eligible for Grants/Loans:</b>	<input type="checkbox"/> Yes <input checked="" type="checkbox"/> No

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## Exhibit 2. Window Types and Key Terms



Source: (Top image) Strathcona Area Redevelopment Plan, accessed via <https://webdocs.edmonton.ca/zoningbylaw/DC1/Strathcona/Commercial.htm>. (Bottom image) Burlington-wi.gov, accessed via: <https://www.burlington-wi.gov/DocumentCenter/View/1740/HPC-Facade-Grant-COA-Application-2020-filable?bidId=>.

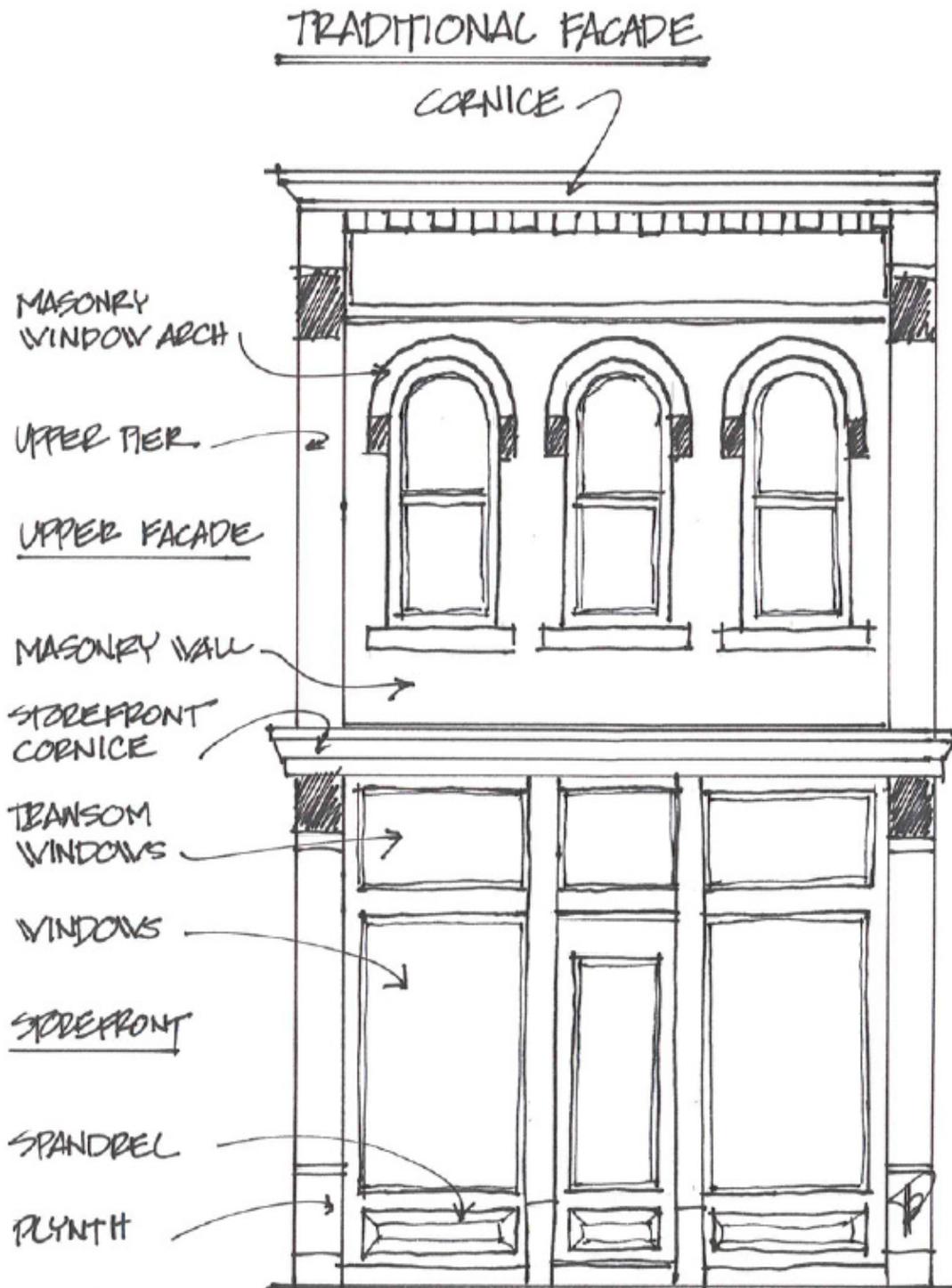
4. Storefront Façade	
<b>Applicability:</b>	This element <input checked="" type="checkbox"/> must <input type="checkbox"/> may be included in project.
<b>Description:</b>	A storefront façade is located on the ground floor or street level of a commercial building and typically includes display windows. See Exhibit 3 for an illustration of the core components of a traditional façade.
<b>Standards:</b>	<p>Storefront façades must:</p> <ol style="list-style-type: none"> <li>4.1. Include large windows with thin framing members, a recessed entrance with overhead transom, a storefront cornice, an exposed structural element, or a horizontal sign panel at the top of the storefront to separate it from the upper facade, and low bulkheads at the base to protect the windows and act as a platform for window displays. The basic configuration can be constructed from traditional or contemporary materials, achieving the same results.</li> <li>4.2. Include windows and door openings sized and proportioned similar to those on the adjacent facades.</li> <li>4.3. Include the kick plate, or bulkhead, functions to protect the display window by raising the glass area to a safer and more easily viewed height. Historically, materials have included wood panels, stone, brick, and ceramic tile. The original kick plate materials should always be retained, maintained, or uncovered when possible.</li> <li>4.4. Retain openings containing double entry doors.</li> <li>4.5. <i>Avoid infill panels when providing new windows in existing masonry opening.</i></li> <li>4.6. <i>Avoid concealing the original façade and restore storefront facade to its original character, if applicable.</i></li> <li>4.7. <i>Retain transom windows whenever possible. Transom windows that are covered or blocked should be reopened and restored. If the ceiling inside the store has been lowered, the ceiling could slope up to two (2) to three (3) feet back to meet the transom, or dark painted panels can be placed behind transom windows to help simulate transparency and depth.</i></li> <li>4.8. <i>Use large commercial entry doors with glass panels with vertical proportions to aid a sense of invitation and openness to the business. Avoid solid or residential-type doors with small areas of glass.</i></li> <li>4.9. <i>Include painted wood doors and wood framing are preferred. Aluminum doors and doorframes, aluminum windows and their accessories with a clear aluminum finish are not acceptable.</i></li> <li>4.10. <i>Provide canopies, awnings, porticos, and gable-roof projections along street facades that give access to the building to accentuate entrances and give shelter to visitors. Canvas awnings are preferred in the commercial core and minimum depth of these features shall be three (3) feet at the building entrance, and the</i></li> </ol>

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	<p><i>underside of the projection shall be between eight and twelve (8-12) feet from the sidewalk. Where buildings are built close to the public right-of-way as permitted in the commercial core, awnings and canopies may encroach the public right-of-way to within three (3) feet of the street curb.</i></p> <p>4.11. <i>Light awnings from above, if applicable, and/or may feature lighting beneath to illuminate the sidewalk, however glowing awnings (backlit, light shows through the material) are prohibited.</i></p> <p>4.12. <i>Always try to utilize existing materials. Examples of materials according to location:</i></p> <p>4.12.1. <i>Storefront framework: cast iron, anodized aluminum</i></p> <p>4.12.2. <i>Display windows: clear glass</i></p> <p>4.12.3. <i>Transom windows: clear, tinted, stained, or etched glass</i></p> <p>4.12.4. <i>Entrance door: wood or aluminum with a large glass panel at least 3/4 in size</i></p> <p>4.12.5. <i>Bulkheads: wood panels, polished stone, glass, tile, metal clad plywood parts</i></p> <p>4.12.6. <i>Storefront cornice: wood, cast iron, sheet metal</i></p> <p>4.12.7. <i>Side piers should be the same material as the upper facade (typically brick or stone)</i></p> <p>Remodeled and restored storefront facades should adhere to the following:</p> <p>4.13. The remodeled storefront should be designed to fit inside the original opening and not extend beyond or in front of it.</p> <p>4.14. The entry should be maintained and restored in its original location and configuration. If the original entry is gone, the new entry should be designed and placed considering traditional design theme and its relationship to the overall building facade and symmetry.</p> <p>4.15. Storefront bulkheads should be restored or renovated.</p>
<b>Eligible for Grants/Loans:</b>	<input type="checkbox"/> Yes <input checked="" type="checkbox"/> No

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Exhibit 3. Components of a Traditional Façade



Source: Plymouth, WI Downtown Design Guidelines (2013).

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5. New Infill Building	
<b>Applicability:</b>	This element <input type="checkbox"/> must <input checked="" type="checkbox"/> may be included in project.
<b>Description:</b>	Infill development is any new construction on an undeveloped lot that is not on the urban fringe. New infill buildings developed in Plymouth’s downtown will adhere to strict standards to ensure the façades look appropriate and compatible amid the surrounding buildings.
<b>Standards:</b>	<p>Infill buildings must:</p> <ol style="list-style-type: none"> <li>5.1. Architecturally complement and be sympathetic to the significant historic buildings of downtown without mimicking them. Ensure the architecture reflects some of the detailing of surrounding buildings in window shapes, cornice lines, and brickwork.</li> <li>5.2. Maintain a clear distinction between first floor and upper floors. The first floor should have large areas of glass, and upper floors should have an emphasis on solid walls, with less window area.</li> <li>5.3. Use the average height and width of the surrounding buildings, to determine a general set of proportions for an infill structure, or the bays of a larger structure.</li> <li>5.4. Ensure the size and proportion of windows and door openings is similar to those on surrounding facades. The same applies to the ratio of window area to solid wall area for the façade.</li> <li>5.5. Maintain the horizontal alignment of the transom and display windows on the first floor.</li> <li>5.6. Maintain the pattern created by upper story windows, considering rhythm, horizontal, and vertical alignment.</li> <li>5.7. <i>Help to carry the rhythms throughout the block (such as window spacing). If the site is large, the mass of the facade can be broken into several small bays, to maintain a rhythm similar to the surrounding buildings.</i></li> <li>5.8. <i>Use materials that are compatible in size, scale, texture, and color with the existing color materials.</i></li> <li>5.9. <i>Select façade colors that relate to the building’s neighbors.</i></li> <li>5.10. <i>Consider the details in surrounding masonry buildings such as joint size, quoining, arches, patterns, etc.</i></li> </ol>
<b>Eligible for Grants/Loans:</b>	<input type="checkbox"/> Yes <input checked="" type="checkbox"/> No

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6. Building Orientation	
<b>Applicability:</b>	This element <input checked="" type="checkbox"/> must <input type="checkbox"/> may be included in project.
<b>Description:</b>	Building orientation describes a building's placement on a site, as well as the positioning of windows, entrances, and other features. Buildings in downtown will be orientated toward the street, and in some cases, toward the Mullet River as well.
<b>Standards:</b>	<p>Buildings must:</p> <ol style="list-style-type: none"><li>6.1. Be located at the back of the sidewalk unless space between the building and sidewalk is to be used for pedestrian features such as plazas, courtyards, or outdoor eating areas.</li><li>6.2. Have clearly identified entry points, with pedestrian access associated with parking/sidewalks and the building entry point(s).</li><li>6.3. <i>Include a combination of front entrances with side or rear entrances (i.e., double fronting), if appropriate. If double fronting occurs, side and rear entrance treatments should include the entire exposed rear and sidewalls for identity. They should also be inviting and attractive. Options to achieve this goal include a glass door, ample windows, signage identifying the business, an awning or canopy above the doorway, appropriate lighting, landscaping, planter boxes, etc.</i></li></ol> <p>Buildings in proximity to the Mullet River must:</p> <ol style="list-style-type: none"><li>6.4. <i>Be oriented toward the river where practical, especially recreation and tourism-oriented uses, including restaurants. If the building has entrances from both Mill Street and the riverside, the front, or street entrance, should be treated as the primary entrance. Materials selected from the main entrance may differ from those approved for the secondary entrance, but general design treatment and color schemes shall be consistent around all sides of the building.</i></li><li>6.5. <i>Be designed sympathetically with the view and activities of the river.</i></li></ol>
<b>Eligible for Grants/Loans:</b>	<input type="checkbox"/> Yes <input checked="" type="checkbox"/> No

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7. Building Form and Design	
<b>Applicability:</b>	This element <input checked="" type="checkbox"/> must <input type="checkbox"/> may be included in project.
<b>Description:</b>	Building form refers to the shape or configuration of a building while building design refers to the architectural application of the building.
<b>Standards:</b>	<p>The form and design of existing buildings must:</p> <p>7.1. <i>Preserve as much of the historic exterior configuration, structure, materials, and details as possible. Repair, clean, and maintain these original components and materials.</i></p> <p>7.2. <i>Preserve characteristic architectural features. Do not remove or alter these characteristics unless it is necessary. Do not apply other architectural styles over the original and work with, not against the original structure, and the original pattern of openings, rhythms, style, and scale of facade components.</i></p> <p>7.3. <i>Use colors based on the historic brick color, if applicable.</i></p> <p>7.4. <i>Restore architectural details of cornices, lintels, brick arches, chimneys, and ironwork of the original building as appropriate and feasible. Where detailing has already been removed, every effort should be made to replicated them (i.e., Replace missing facade elements with original or reproduction components and materials. Mansards and facade covers are strongly discouraged).</i></p> <p>7.5. <i>Adapt the functions of your building to respect and complement the historic building configuration, size, and character.</i></p> <p>7.6. <i>Work with the original structural pattern and bays on all building levels.</i></p> <p>The form and design of infill buildings or new additions must:</p> <p>7.7. <i>Reflect some of the detailing of surrounding buildings in window shape, cornice lines, and brick work.</i></p> <p>7.8. <i>New construction must be visually secondary to the historic original structure and its character and should respect the surrounding historic buildings. Use simple new elements that highlight and “set-off” the patina, details, and other characteristics of the original building.</i></p>
<b>Eligible for Grants/Loans:</b>	<input type="checkbox"/> Yes <input checked="" type="checkbox"/> No

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8. Rear Façade	
<b>Applicability:</b>	This element <input type="checkbox"/> must <input checked="" type="checkbox"/> may be included in project.
<b>Description:</b>	Rear facades are important, especially when visible from Plymouth’s riverfront area or other areas of downtown. Parking areas, as well as some business entries, are sometimes located at the rear of buildings. When rear facades or more visually interesting, they can increase activity and improve appearances.
<b>Standards:</b>	Rear facades must: <ul style="list-style-type: none"><li>8.1. Conceal outdoor utility systems, equipment, and waste receptacles.</li><li>8.2. Include a door and/or window openings that are compatible with building’s architecture.</li><li>8.3. Use the same materials and design motifs as on the front and side facades.</li><li>8.4. Incorporate wall signs, projecting signs, or awning signs (see Exhibit 4 for reference).</li><li>8.5. Include pathways and/or stairs that add or enhance customer access to the building.</li><li>8.6. Include an outdoor activity area (e.g., deck or seating), if desired by the property owner.</li></ul>
<b>Eligible for Grants/Loans:</b>	<input checked="" type="checkbox"/> Yes <input type="checkbox"/> No

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9. Decks, Patios, and Porches	
<b>Applicability:</b>	This element <input type="checkbox"/> must <input checked="" type="checkbox"/> may be included in project.
<b>Description:</b>	Decks, patios, and porches provide spaces for people to congregate outside on public or private property.
<b>Standards:</b>	<p>Decks, patios, and porches must:</p> <p>9.1. Encompass massing and details consistent with the architectural style of the building.</p> <p>Decks must:</p> <p>9.2. Not intrude on sidewalks and other walkways.</p> <p>9.3. <i>Be considered on properties facing the Mullet River or parks (to facilitate public interaction), if desired by the property owner.</i></p> <p>Patios must:</p> <p>9.4. Be composed of materials based on the compatibility of those materials with the building's character. Materials for construction of a low height wall around a patio shall be consistent with the architectural style of the building.</p> <p>9.5. Be colored, textured, or imprinted upon, if made of poured concrete.</p> <p>Porches must:</p> <p>9.6. Only be permitted when appropriate for the architectural style of the building.</p>
<b>Eligible for Grants/Loans:</b>	<input checked="" type="checkbox"/> Yes <input type="checkbox"/> No

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10. Signs	
<b>Applicability:</b>	This element <input checked="" type="checkbox"/> must <input type="checkbox"/> may be included in project.
<b>Description:</b>	<p>Plymouth’s downtown area contains several different sign types including architectural signs, storefront signs, window signs, awning signs, projecting signs, painted wall signs, and murals (see Exhibit 4 for some examples). In general, signage is expected to be located outside of businesses and are intended to announce businesses’ names.</p> <p>In Plymouth, all signage is subject to Plymouth building code and zoning code. Plymouth’s downtown area maintains a secondary set of standards to ensure sign characteristics are designed to enhance the area’s streetscape and historic character.</p>
<b>Standards:</b>	<p>Signs must:</p> <ol style="list-style-type: none"> <li>10.1. Adhere to the maximum area of the sign as regulated by Plymouth’s sign ordinance. Graphics in the sign must be included in the maximum allowable area. Actual size may vary, but signboards need not exceed two and a half (2.5) feet high. This size is appropriate for reading distances in a downtown setting. Letters should not be less than eight (8) inches nor more than eighteen (18) inches high. Lettering should account for at least fifty (50) percent and no more than sixty (60) percent of a signboard.</li> <li>10.2. Be located within/on the building it is referring to.</li> <li>10.3. Be used to display the primary name of the business only. Use only one line of lettering if possible, leaving out secondary information.</li> <li>10.4. Be located as to not obscure any architectural features of the building.</li> <li>10.5. Include only one sign with the business name or graphic logo per street facing side. The exception is that a window sign may be used in addition to other sign types. Note that a projecting sign with two faces is considered one sign.</li> <li>10.6. Use simple, bold lettering with sufficient contrast between the lettering and the background.</li> <li>10.7. Be made to make sure that damage to the building is minimized when signage is installed and removed. <i>Reuse of existing mounting brackets, studs or holes is desirable. Never drill holes into bricks, stones, etc.</i></li> <li>10.8. <i>Use painted wood where practicable. It is the authentic material and will look appropriate against the weathered brick of Plymouth commercial facades. Modern materials that simulate wood may be acceptable and will be reviewed on a case-by-case basis.</i></li> <li>10.9. <i>Not use changeable or movable letters or graphics.</i></li> <li>10.10. <i>Not include a “Trademark” or “Logo.”</i></li> <li>10.11. <i>Be located above the storefront display windows but below the sills of second floor windows. In some instances, newer buildings contain areas above the</i></li> </ol>

	<p><i>highest windows for signage. This location is acceptable but should be avoided if possible. Another option for a storefront sign location can be an awning, provided the awning is properly integrated with the building.</i></p> <p>Regarding the coordination of signs:</p> <p>10.12. <i>Multiple-tenant buildings should submit a sign package that includes building elevations (drawn to scale), sign types, locations, and sizes. View the building as a whole and plan a unified design strategy to take advantage of all possible sign locations.</i></p> <p>10.13. <i>Tenants and owners should use a common lettering style and color scheme on the building.</i></p> <p>10.14. <i>Design the sign package to emphasize the whole width and geometry of storefronts and individual buildings. Avoid the use of unified signage across multiple buildings that are obviously separate and of different and distinct scale or architecture.</i></p> <p>10.15. <i>Consider giving the entire building an identifiable name (i.e., “Plymouth Mercantile”) with individual business signs near the entrances, or on a common directory.</i></p> <p>Regarding sign lighting:</p> <p>10.16. <i>Use incandescent indirect lighting and place spotlights discreetly, in such a way as to shield the source from pedestrians and vehicular traffic.</i></p> <p>10.17. <i>Neon lights are permitted in window signs only. Design them with respect from the historic ambiance of the area.</i></p> <p>10.18. <i>Do not use flashing, moving, or intermittent lights.</i></p> <p>10.19. <i>Do not use internally or back-lit signs, either projecting, wall mounted, or hung inside the window.</i></p> <p>Regarding historic and architectural signs:</p> <p>10.20. <i>The maintenance and restoration of any existing historic sign is encouraged in lieu of replacement.</i></p> <p>10.21. <i>Architectural signs are those which are integrated into the building fabric and are constructed of permanent materials such as stone or metal. These add a sense of history and place to the character and fabric of Plymouth. It is important to preserve existing architectural signs and promote original building names.</i></p> <p>Regarding window signs:</p> <p>10.22. <i>Keep the display space clear. In these cases, insert the sign at the base and/or the head of the window.</i></p> <p>10.23. <i>Keep the lettering small remembering that the reader will be near the sign. Use several lines where necessary and consider curving the top line at the head of the window.</i></p>
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	<p>10.24. <i>Lettering formed with neon may be used in the inside of the window, provided the size, light intensity, color, and style are consistent with the theme of the building.</i></p> <p>10.25. <i>For total sign area in the windows, refer to the Plymouth sign ordinance. Signage should be sympathetic to the historic nature of downtown.</i></p> <p>10.26. <i>Display street numbers on or directly above the door, and business Regarding architectural signs:</i></p> <p>Regarding projecting signs:</p> <p>10.27. <i>Keep projecting signs small and simple.</i></p> <p>10.28. <i>Only one projecting sign is permitted per building provided no other signs exist. Supporting brackets for projecting sign should be metal, painted black.</i></p>
<p><b>Eligible for Grants/Loans:</b></p>	<p><input checked="" type="checkbox"/> Yes      <input type="checkbox"/> No</p>

## Exhibit 4. Types of Building Signs



Source: Inner West, accessed via: <https://www.innerwest.nsw.gov.au/about/policies-plans-and-regulations/home-safety-regulations/signs-and-advertising-structures>.

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11. Lighting	
<b>Applicability:</b>	This element <input checked="" type="checkbox"/> must <input type="checkbox"/> may be included in project.
<b>Description:</b>	Lighting on a building facade can add character to buildings, illuminate the pedestrian environment, and highlight architectural/design features.
<b>Standards:</b>	Lighting and/or lighting fixtures must: 11.1. Be located, aimed, or shielded to minimize glare, sky glow, and stray light trespassing across property lines. 11.2. Incorporate basic light levels as recommended by the City of Plymouth to limit “light pollution” and preserve the nighttime environment. 11.3. Be recessed (i.e., applicable to lights in gas pump island canopies). 11.4. Be located within landscaped areas and not freestanding in parking lots (i.e., applicable to light poles). 11.5. <i>Be concealed or integrated into the overall design of the project. The light source should be hidden from direct pedestrian or motorist view. Pedestrian-level lighting is encouraged along sidewalks and on buildings to enhance area safety and character.</i>
<b>Eligible for Grants/Loans:</b>	<input type="checkbox"/> Yes <input checked="" type="checkbox"/> No

# DRAFT

12. Roof Form	
<b>Applicability:</b>	This element <input checked="" type="checkbox"/> must <input type="checkbox"/> may be included in project.
<b>Description:</b>	Well-designed roofs can help to make buildings look more visually stimulating.
<b>Standards:</b>	<p>Roofs must:</p> <p>12.1. Be concealed with a parapet if flat. (See Exhibit 5 for parapet examples).</p> <p>12.2. Include details and ornamentation on parapets to reflect the style or period of the building.</p> <p>12.3. Locate and group dormers, as appropriate, according to the precedents of the architectural style of the building. (See Exhibit 6 for dormer examples).</p> <p>12.4. Conceal protrusions, other than the chimney, behind the primary roof parapet or a screen that matches the architectural character and materials of the structure.</p> <p>12.5. Not use asphalt and fiberglass shingles on vertical surfaces.</p> <p>12.6. Contain and manage water runoff on the property or sent to public draining areas without passing through the neighbor’s property.</p> <p>12.7. <i>(If desired by the property owner) include skylights only if they are architecturally appropriate.</i></p> <p>12.8. <i>Use appropriate roofing surfaces and materials. Built-up roofing surfaces are acceptable with very low pitched or flat roofs concealed with a parapet. Synthetic rubber roofing is appropriate for very low pitched or flat roofs concealed with a parapet. Fiberglass membranes are also available in this category of roofing. Asphalt shingles are acceptable for use on all pitched roofing types. Thicker shingle types with shadowed edges are preferred. The use of clay tile is encouraged if appropriate to the architectural characteristics of the building. Cement tiles are acceptable if they maintain the characteristics of traditional clay tile, or another more traditional roofing material. The use of slate is encouraged if appropriate to the architectural characteristics of the building. Sheet metal shingles and standing seam metal will be reviewed for approval on a case-by-case basis.</i></p>
<b>Eligible for Grants/Loans:</b>	<input type="checkbox"/> Yes <input checked="" type="checkbox"/> No

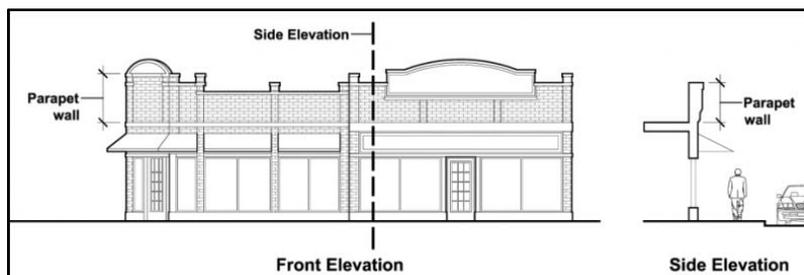
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## Exhibit 5. Parapet Walls



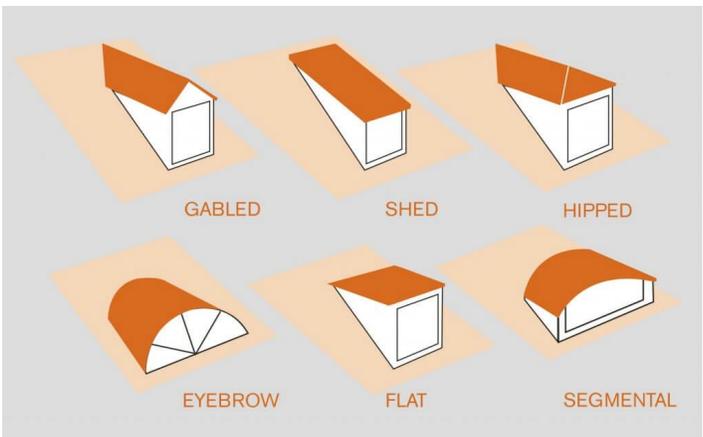
Source:

(Top Image) Ministry of Business, Innovation & Employment (March 2018), accessed via <https://www.building.govt.nz/assets/Uploads/building-code-compliance/b-stability/b1-structure/guidance-securing-parapets-facades.pdf>.



(Bottom Image) HOWTOCIVIL (2021), accessed via <https://www.howtocivil.com/parapet-wall-design-types-and-functions/>.

## Exhibit 6. Types of Dormer Windows



Source: (Left) BLRPC. (Right) InterNACHI (2018), accessed via: <https://forum.nachi.org/t/roof-and-dormer-types/125612>.

# DRAFT

13. Outdoor Dining	
<b>Applicability:</b>	This element <input type="checkbox"/> must <input checked="" type="checkbox"/> may be included in project.
<b>Description:</b>	Outdoor dining can benefit the property owner the outdoor dining serves. It can also enhance the pedestrian realm and encourage activity. Plymouth’s City Council must review all proposals for outdoor dining areas and give an approval.
<b>Standards:</b>	Outdoor dining must: 13.1. Be associated with an adjacent eating or drinking establishment. 13.2. Provide space for pedestrians to pass when outdoor dining infringes upon or is directly adjacent to a public right-of-way or walkway. 13.3. Be appropriate for the architectural character of the building. 13.4. (If desired by the property owner) include a seasonal fence around outdoor dining areas which is no higher than thirty-six (36) inches <i>and be constructed of materials appropriate for the architectural character of the building (e.g., brick, stone, or a decorative landscape block).</i> 13.5. <i>Include public seating areas consistent with the style of other public amenities, if adjacent to or located within public areas.</i>
<b>Eligible for Grants/Loans:</b>	<input type="checkbox"/> Yes <input checked="" type="checkbox"/> No

# DRAFT

14. Fencing and Retaining Walls	
<b>Applicability:</b>	This element <input type="checkbox"/> must <input checked="" type="checkbox"/> may be included in project.
<b>Description:</b>	Fencing and retaining walls are visual barriers purposed for concealment or decoration. In many instances they are purposed to conceal trash receptacles, condensers, or transformers which occupy the same general areas desired for pedestrians.
<b>Standards:</b>	Fencing and retaining walls must: 14.1. Be built of brick and suitable masonry units, stone, decorative metal, <i>or another material compatible with the adjacent building.</i> 14.2. Not be made of stockade, bound-on board, picket, and chain link. Permanent or retractable security gates or bars is also not prohibited. <i>Certain types of interlocking concrete block and landscaping timbers are not desired.</i>
<b>Eligible for Grants/Loans:</b>	<input type="checkbox"/> Yes <input checked="" type="checkbox"/> No

# DRAFT

15. Mechanical Equipment, Loading Docks, and Refuse Container Concealment	
<b>Applicability:</b>	This element <input type="checkbox"/> must <input checked="" type="checkbox"/> may be included in project.
<b>Description:</b>	<p>Concealment and/or screening of mechanical equipment, loading docks/service areas, and refuse containers helps to hide unsightly building elements from view.</p> <ul style="list-style-type: none"> <li>Mechanical equipment includes, but is not limited to, air compressors, HVAC equipment, solar panels, window air conditioners, utility boxes, pedestals, satellite dishes, and vents/stacks.</li> <li>Loading docks and service areas are sections of a building where goods from vehicles are loaded and unloaded. These docks/areas are commonly found on commercial, industrial, and warehouse buildings.</li> <li>Refuse containers includes any waste or recycling container, including dumpsters, trash cans, garbage pails, and plastic trash bags.</li> </ul>
<b>Standards:</b>	<p>Mechanical equipment must:</p> <p>15.1. Be concealed behind the primary roof parapet (or a screen that matches the architectural character and materials of the structure), if located on the roof of a structure.</p> <p>15.2. Be underground, if the mechanical equipment is newly installed utility services and/or service revisions necessitated by exterior alterations.</p> <p>15.3. <i>Be concealed from public rights-of-way, walkways, primary customer parking areas, and neighboring residential or public uses to the highest degree possible. Electrical service boxes are excluded from this requirement but should be located as unobtrusively as possible.</i></p> <p>Loading docks must:</p> <p>15.4. <i>Not face a public street and be hidden from view by a planted landscape buffer if visible from the river and parks.</i></p> <p>15.5. <i>Be located or screened so that they are not visible from the pedestrian level. Screening materials and design should be compatible with building architecture and other site features.</i></p> <p>Refuse containers must:</p> <p>15.6. <i>Be concealed from public rights-of-way, walkways, primary customer parking areas, and neighboring residential or public uses to the highest degree possible.</i></p> <p>15.7. <i>Be colored, styled, and made of materials consistent with the principal structure. This includes publicly accessible refuse containers, which may be found adjacent to an outdoor eating area.</i></p> <p>15.8. <i>Incorporate landscaping material around refuse container screening.</i></p>

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<b>Eligible for Grants/Loans:</b>	<input checked="" type="checkbox"/> Yes (relating to refuse containers only)	<input type="checkbox"/> No
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# DRAFT

16. Surface Parking Lots	
<b>Applicability:</b>	This element <input checked="" type="checkbox"/> must be included in project (contingent - see zoning district standards for application). <input checked="" type="checkbox"/> may
<b>Description:</b>	Parking lots should be designed to be equally pedestrian and vehicular friendly.
<b>Standards:</b>	<p>Surface parking areas must:</p> <ul style="list-style-type: none"> <li>16.1. Be located to the side and rear of buildings.</li> <li>16.2. Include substantial landscaping as required by the Municipal Code.</li> <li>16.3. Include safe and direct pedestrian routes to primary building entrances.</li> <li>16.4. <i>Minimize parking curb cuts along the street in favor of shared access points.</i></li> <li>16.5. <i>Avoid breaking up the shopping street wall by limiting mid-block parking lots.</i></li> <li>16.6. <i>Not include dedicated parking for single businesses. Shared parking shall be considered to minimize the visual impact of land devoted to parking and to provide more efficient parking.</i></li> <li>16.7. <i>Include areas where pedestrians may be picked up or dropped off in a safe manner. *</i></li> </ul> <p>Accessory surface parking lots for apartment buildings must:</p> <ul style="list-style-type: none"> <li>16.8. <i>Be adjacent to the building when feasible and include clear signage to delineate who is permitted to park in the lot and during which hours. Lots should also include additional screening between the lots and adjacent residential buildings.</i></li> </ul>
<b>Eligible for Grants/Loans:</b>	<input checked="" type="checkbox"/> Yes (applicable to pedestrian pick-up/drop-off sites only) <input type="checkbox"/> No

# DRAFT

17. Private Sidewalks and Walkways	
<b>Applicability:</b>	This element <input type="checkbox"/> must <input checked="" type="checkbox"/> may be included in project.
<b>Description:</b>	Private sidewalks and walkways provide safe passage for pedestrians to and from parking areas, businesses, and outdoor spaces. Defined sidewalks and walkways improve connectivity and safety for pedestrians.
<b>Standards:</b>	Private Sidewalks and Walkways must: 17.1. Be a minimum width of forty-eight (48) inches. 17.2. Serve every principal structure on a parcel that is adjacent to a public sidewalk or walkway. It must be clearly identifiable and lead from the public sidewalk or walkway to the primary entrance of the structure. The presence of a driveway does not fulfill this requirement. 17.3. Be differentiated from driveways and parking areas by using different pavement material, grade, and/or landscape material. 17.4. <i>Connect adjacent parcels, if appropriate.</i> 17.5. <i>Use paving materials that complement and highlight the principal structure.</i>
<b>Eligible for Grants/Loans:</b>	<input type="checkbox"/> Yes <input checked="" type="checkbox"/> No

# DRAFT

18. Bicycle Racks	
<b>Applicability:</b>	This element <input type="checkbox"/> must <input checked="" type="checkbox"/> may be included in project.
<b>Description:</b>	Bicycle racks are devices where bicycles can be securely attached to for parking purposes.
<b>Standards:</b>	Bicycle Racks must: 18.1. Be positioned adjacent to pedestrian rights-of-ways. 18.2. Not infringe upon pedestrian access to sidewalks and walkways. 18.3. Be styled and composed of materials consistent with other public amenities or building architecture.
<b>Eligible for Grants/Loans:</b>	<input checked="" type="checkbox"/> Yes <input type="checkbox"/> No

# DRAFT

19. Landscaping	
<b>Applicability:</b>	This element <input checked="" type="checkbox"/> must <input type="checkbox"/> may be included in project.
<b>Description:</b>	The use of landscaping can improve the pedestrian environment. Landscaping can help to define outdoor spaces, soften a building’s appearance, and hide less sightly uses (e.g., parking, loading, storage, and equipment areas). Landscaping, provided in conjunction with onsite open spaces, can be integrated into a site plan as primary features. Landscape plans are required by the City as a part of any new construction or redevelopment of an existing property. Cooperative agreements between the City and property owners, for shared landscaping, are encouraged.
<b>Standards:</b>	<p>Landscaping must:</p> <ul style="list-style-type: none"> <li>19.1. Be maintained and properly or regularly trimmed.</li> <li>19.2. Not use the following landscaping materials: concrete block, galvanized metal, plastic statuary, railroad ties, steel (exposed / unpainted), and tires. <i>Landscaping materials should be constructed of materials consistent with the architectural style of the building. Planters adjacent to public areas should be consistent with the style of other public amenities.</i></li> <li>19.3. Only include native and noninvasive planting species within fifty (50) feet of the river edge.</li> <li>19.4. <i>Include trees in parking lots to break up paving and provide shading. Select tree species with rooting and canopy patterns to fit the space provided. Species with fruits, pods, and seeds are not good choices.</i></li> <li>19.5. <i>Complement and be in scale with the building and adjacent structures.</i></li> <li>19.6. <i>Include evergreen trees, shrubs, and ornamental landscaping (and berms where appropriate). Landscaping must include indigenous shade trees, especially disease-resistant elms, if desired by the property owner. Landscaped areas should have a minimum width of six (6) feet.</i></li> <li>19.7. <i>Be used to create a focal point near the front building entrance. Sidewalks / walkways should be integrated with landscape areas around the building base and in parking areas. Trees should be planted in notable clusters within larger planting areas, and not exclusively in lines along building facades.</i></li> <li>19.8. <i>Be used at rear and side entrances of buildings. Plantings can be permanent or in portable planters. Plantings should be used to screen trash receptacles, non-accessible doorways, and parking areas – if possible.</i></li> <li>19.9. <i>(If desired by the property owner) Include seasonal window planters.</i></li> <li>19.10. <i>(If desired by the property owner) Be used around the foundation of all building. Plantings of significant vegetation should be used along blank walls/fenced areas.</i></li> </ul>

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<b>Eligible for Grants/Loans:</b>	<input type="checkbox"/> Yes <input checked="" type="checkbox"/> No
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# DRAFT

20.Stormwater Runoff	
<b>Applicability:</b>	This element <input checked="" type="checkbox"/> must <input type="checkbox"/> may be included in project.
<b>Description:</b>	Stormwater runoff management standards are established in addition to other local and state standards.
<b>Standards:</b>	<p>20.1. To the greatest extent possible, stormwater runoff from impervious surfaces should be infiltrated and/or filtered through the soil before it leaves the parcel. Through careful site planning, most runoff from roofs and parking lots should be directed to on-site infiltration devices, including pervious pavement (pervious asphalt, pervious concrete, infiltration paving blocks, etc.) and bio-retention basins (rain gardens).</p> <p>20.2. All sites are subject to both an infiltration area standard and an infiltration volume standard. These stormwater standards shall be applied to both existing and new impervious surfaces whenever impervious surfaces are increased on a parcel, or whenever proposed improvements exceed 100% of the value of existing parcel improvements.</p> <p>20.3. 80% of all impervious surfaces on parcel abutting the river, including 95% of parking lot surfaces, shall drain to on-site infiltration devices or plots.</p> <p>20.4. 50% of all impervious surfaces on parcel not abutting the river, including 80% of parking lot surfaces, shall drain to on-site infiltration devices.</p> <p>20.5. The infiltration devices and associated detention devices shall be designed to contain and infiltrate the first inch of rain that falls on the area that drains to those devices. Where subsurface soils are shown to have low infiltration rates (as defined by WDNR standards), subsurface perforated drainpipes may be used beneath pervious pavements and/or bio-retention basins. These drainpipes may outlet to the municipal storm sewer system or to a surface swale. Where drainpipes are used, true infiltration will not occur. To ensure that the intent of these standards is still met (to reduce temperature and contaminants), water shall pass through at least twelve (12) inches of engineered soil between the surface and the pipe.</p> <p>20.6. Runoff from parking lot surfaces should be pretreated before discharge to a separate infiltration facility. If pervious pavement is used for infiltration, only runoff originating on the parking lot should be infiltrated by that pavement. Runoff from other impervious surfaces, such as rooftops, shall be directed toward facilities that do not receive untreated parking lot runoff.</p> <p>20.7. All infiltration facilities should conform to current Department of Natural Resources and Sheboygan County Shoreland Ordinance Requirements.</p>
<b>Eligible for Grants/Loans:</b>	<input type="checkbox"/> Yes <input checked="" type="checkbox"/> No