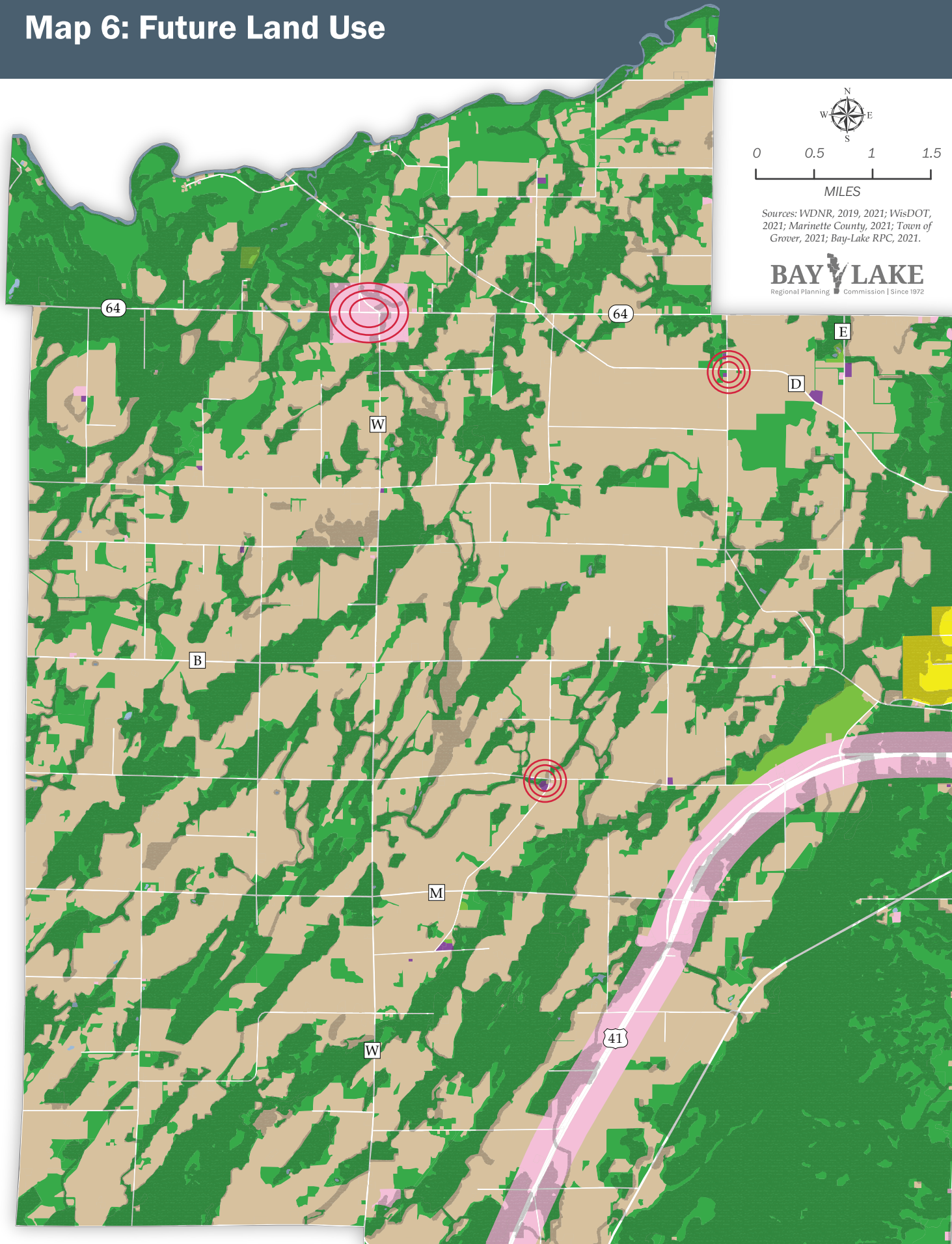


# Map 6: Future Land Use



The Future Land Use Map's seven classifications, along with strategies identified below:

## Residential

The intent of this classification is to provide areas for moderate density residential developments. Uses include single-family and multiple-family residential. New residential developments should conform to the town's zoning regulations.

### Single-Family Residential

Proposed residential developments in this designation are expected to follow the town's existing growth patterns and will primarily consist of single family homes in a rural residential development pattern.

Traditional and conservation subdivisions, which limits the impact of developments on natural elements, can be used to increase the availability of housing.

### Multiple-Family Residential

Multiple-family housing offers opportunities to increase residential density in Grover. Examples of multiple-family housing include but are not limited to duplexes, multiplexes, condominiums, town homes, and senior housing. The town's zoning ordinance already regulates multi-family housing.

Where possible, properties should be infilled and redeveloped to reduce the impact developments have on the natural character of Grover.

## Mixed Commercial and Industrial

This classification is meant to provide areas for a mix of commercial and light industrial land uses. These areas in the town include:

- The intersection of County Highway W and State Highway 64; and
- Highway commercial areas along the U.S. Highway 41 corridor.

Both commercial and light industrial land uses located along U.S. Highway 41 should take advantage of quick highway access. These uses should also conform to the town's zoning regulations.

The community survey identified several favorable commercial businesses related to the retail, and entertainment. Examples of businesses would be auto repair shops, hardware stores, and restaurants.

Industrial land uses currently in the town include sawmills, non-metallic mining, and agricultural business uses.

Industrial land uses should be light in nature, reflect the character of the town, and not impact surrounding land uses negatively. When possible, new industrial uses are encouraged to be placed near commercial or other industrial land uses and away from residential properties.

## Governmental/Institutional

Uses within this classification include, the Grover Town Hall, Harmony fire station, the existing churches, cemeteries, utility systems, and communication towers. These uses are expected to remain throughout the 20-year planning period.

## Transportation

The town should continue to cooperate with other local municipalities, Marinette County, and the state in the development and maintenance of all transportation systems.

## Park and Recreation

This plan promotes maintaining existing recreational facilities within or near the Town of Grover. In the northern portion of the town is the Little River Park. The large park and recreation parcel adjacent to U.S. Highway 41 is a golf course. These uses are expected to remain throughout the 20-year planning period.

Future parks and recreation needs will be dependent on development or an expressed need for additional public park and recreational facilities which could include nature preserves and historic and cultural parks. Town residents also have several nearby opportunities for parks and recreation in other municipalities and organizations.

## Agricultural/Rural Residential

Preserving lands dedicated to general crop farming are recommended in this plan. These areas will allow a mixture of farming uses that are compatible with other surrounding land uses. Rural residential development is recommended to be low density and in conformance with the town's zoning.

Best management practices continue to be highly encouraged for all farming operations renting or managing land in the town.

## Natural Areas/Woodlands

This classification is meant to encourage the preservation of natural areas and woodlands within the Town of Grover. A majority of these areas fall within the identified Environmental Corridors. If areas within this classification were to become developed, they should conform to the town's zoning ordinance and are encouraged to incorporate natural areas into their design.

## Environmental Corridors

Environmental corridors are represented by four elements including: 100-year floodplains as defined by the Federal Emergency Management Agency (FEMA), WDNR wetlands and an associated 50-foot buffer, steep slopes of 12 percent or greater, and a 75-foot setback from surface water as defined by the Wisconsin DNR. The Harmony Arboretum is part of the environmental corridors in the town. This plan encourages preservation and protection of these natural areas in order to maintain the rural character of the town along with ensuring their ecological function into the future.

## Mixed-Use Areas

Mixed-use areas designate land which could see a mix of commercial, institutional, and residential uses. Mixed-use areas allow for buildings which could host two uses or parcels which have more than one use. These areas could increase the density in the targeted locations of the town and reduce the impact on farmland and natural lands. Mixed-use areas should conform to land use patterns in a way that is orderly and addressed in the town's zoning ordinance.

Disclaimer: This map is neither a legally recorded map nor a survey and is not intended to be used as one. This drawing is a compilation of records, information, and data used for reference purposes only. Bay-Lake RPC is not responsible for any inaccuracies herein contained.